

# Township of Verona

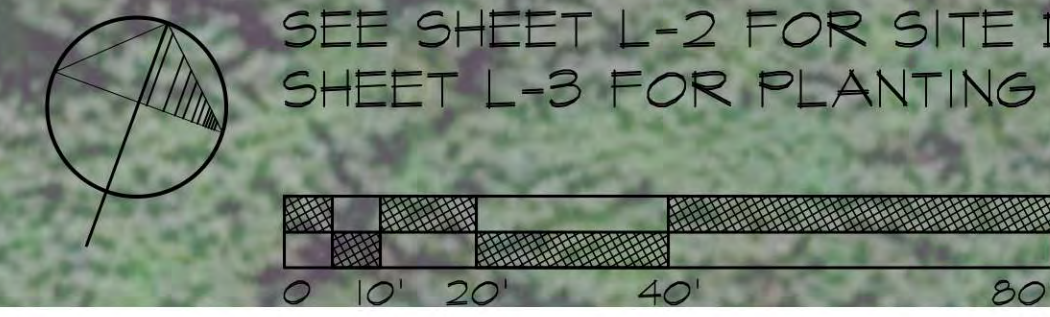
## Final Site Plan Hearing for Apartments at Verona

Block 2301, Lots 11, 12, 14-17, portion of 18, and 19 (14.01)





NOTE:  
SEE SHEET L-2 FOR SITE DETAILS AND  
SHEET L-3 FOR PLANTING DETAILS



200 Union Avenue  
Belle Mead, New Jersey 08730  
T 732.528.0664  
F 732.528.1077

LYNN A. YAHIA  
*Lynn A. Yahia*  
N.J. LICENSED  
LANDSCAPE ARCHITECT  
#21AS0059100

NO.	DATE	REVISION

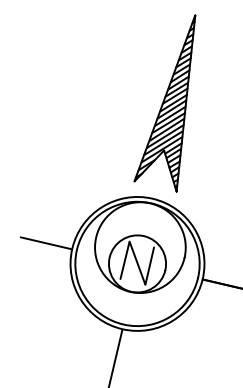
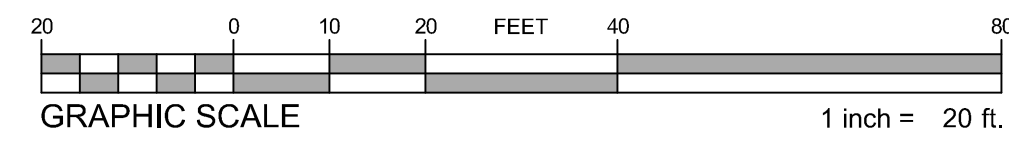
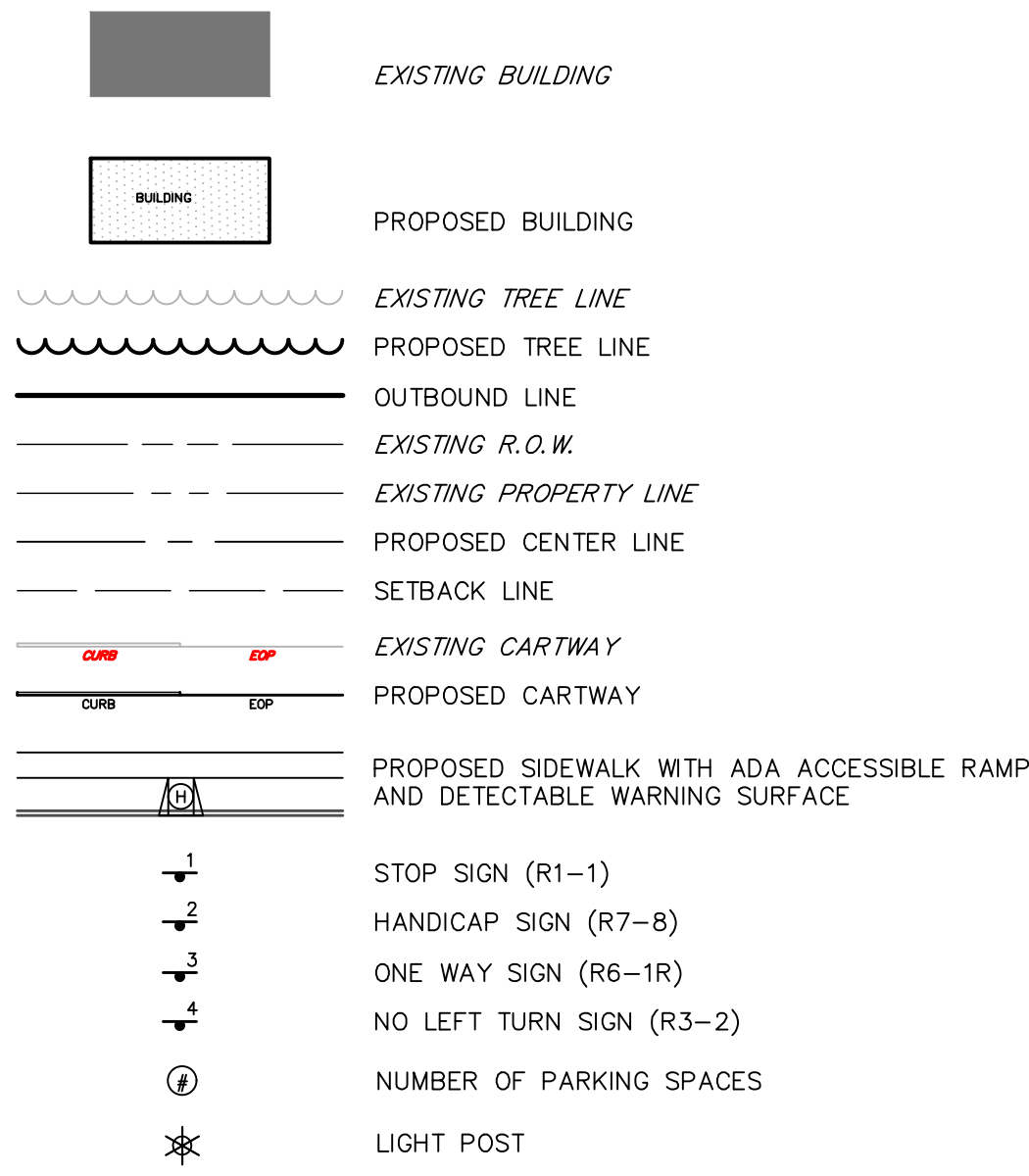
SCALE: 1"=40'  
DATE: 10/29/2021 JOB NO.: 20-107

DRAWING NO.  
L-1

GENERAL NOTES

- ALL WORK SHALL CONFORM WITH THE LATEST EDITION OF THE FOLLOWING:
  - N.J.DOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2007 EDITION
  - ESSEX COUNTY DESIGN STANDARDS
  - MUNICIPAL DESIGN STANDARDS
  - N.J. RESIDENTIAL SITE IMPROVEMENT STANDARDS (RSIS)
  - CURRENT MANUFACTURERS SPECIFICATIONS, STANDARDS AND REQUIREMENTS
  - CURRENT, PREVAILING UTILITY COMPANY OR AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- ALL BARRIER FREE CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE NEW JERSEY UNIFORM CONSTRUCTION CODE, SUBCHAPTER 7: BARRIER FREE SUBCODE AND/OR 2010 ADA STANDARDS, AS APPLICABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL WORKER SAFETY, TRAINING, AND SAFETY DEVICE USAGE FOR AND DURING THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.
- THE CONTRACTOR IS DESIGNATED AS RESPONSIBLE PARTY DURING CONSTRUCTION OF IMPROVEMENTS SHOWN HEREON. AS SUCH CONTRACTOR WILL PROVIDE ADEQUATE SAFETY TRAINING, EQUIPMENT, AND OVERSIGHT.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND APPROVALS FOR CONSTRUCTION OF THE DEPICTED SITE IMPROVEMENTS.
- ALL DISTURBED AREAS ON SITE TO BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND LOCAL REQUIREMENTS OF THE HUDSON ESSEX PASSAIC SOIL CONSERVATION DISTRICT.
- THE NEW JERSEY ONE CALL SYSTEM SHOULD BE CONTACTED A MINIMUM OF THREE (3) BUSINESS DAYS PRIOR TO ANY EXCAVATION OR SOIL DISTURBANCE ON-SITE OR WITHIN PUBLIC ROW. CALL 811 OR (800)-272-1000.
- EXISTING SITE AND UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. CONTRACTOR SHALL VERIFY PRIOR TO CONSTRUCTION.
- ALL TRAFFIC SIGNS AND STRIPING SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- DURING ROW WORK, TRAFFIC TO BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH MUTCD PART VI, LATEST EDITION, AND/OR TOWNSHIP OF VERONA REQUIREMENTS.
- THE CONTRACTOR TO MATCH EXISTING PAVEMENT SPECIFICATIONS FOR ALL PAVEMENT REPAIRS TO EXISTING ROADWAYS.
- CONCRETE SHALL BE N.J.DOT CLASS "B" UNLESS OTHERWISE STATED HEREON OR WITHIN THE CONSTRUCTION DETAILS.
- THE CONTRACTOR SHALL DEMOLISH EXISTING STRUCTURES, APPURTENANCES, AND MATERIALS AS SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR EXISTING SERVICE DISCONNECTIONS AND DEMOLITION PERMITS.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IF FIELD CONDITIONS VARY FROM THAT WHICH IS SHOWN HEREON.
- THIS PLAN SET HAS BEEN PREPARED FOR MUNICIPAL AND AGENCY APPROVALS ONLY. THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL MARKED WITH A NOTE STATING "FOR CONSTRUCTION". ALL BUILDING FOOTPRINTS DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED AT THE TIME OF APPLICATION FOR A BUILDING PERMIT.
- ALL BUILDING STRUCTURES SHALL CONFORM TO THE TOWNSHIP OF VERONA BULK ZONING REQUIREMENT FOR APPLICABLE ZONE.
- ALL MECHANICAL AND ELECTRICAL EQUIPMENT FOR THE BUILDING SHALL BE ROOF MOUNTED AND SHIELDED FROM PUBLIC VIEW WITH EXCEPTION OF METERING.
- TRASH WITHIN BUILDING A SHALL BE COMPACTED AND STORED WITHIN EXISTING BUILDING IN DEDICATED COMPACTOR ROOM. COLLECTED TRASH SHALL BE PLACED IN INDIVIDUAL CONTAINERS AND WHEELED TO CURB FOR PICK-UP BY WASTE HAULER DURING NORMAL MUNICIPAL COLLECTION SCHEDULE OR BY PRIVATE HAULER.
- TRASH FOR BUILDING B & C SHALL BE DISPOSED OF WITHIN DUMPSTER CONTAINERS AT THE DESIGNATED TRASH ENCLOSURE. COLLECTED TRASH SHALL BE PICKED UP BY PRIVATE HAULER ON NORMAL OPERATION SCHEDULE.
- A KNOX BOX SHALL BE INSTALLED NEAR MAIN ENTRANCE TO ALLOW IMMEDIATE ACCESS TO THE BUILDING BY EMERGENCY RESPONSE PERSONNEL.
- NO PLANTING, BERM, SIGN, FENCE OR OTHER STRUCTURE EXCEEDING 30 INCHES IN HEIGHT SHALL BE LOCATED IN THE SIGHT TRIANGLE.
- TREES AND OTHER VEGETATION WITHIN THE DEPICTED SIGHT DISTANCE TRIANGLE SHALL BE TRIMMED OR REMOVED TO PROVIDE CLEAR SIGHT DISTANCE.
- SEE LANDSCAPE PANS FOR LAYOUT AND DETAILS FOR PLAY STRUCTURE, PATIO & PLAY AREAS, AND ENTRANCE AREA.

LEGEND



**LINN DRIVE**  
(VARIOUS WIDTHS)

**PINE STREET**  
(VARIOUS WIDTHS AS PER DEED)  
(FORMERLY CLAREMONT AVENUE)

**BLOOMFIELD AVENUE**  
(75' R.O.W.)

ESE\_CTB  
 N:\PROJECTS\NEW\_JERSEY\VERONA\ENR\DEPT\_VIP\AWINGS\20024-04-SITE.DWG--TORNILEY--10/28/2021 12:05 PM

DATE: 10/28/21  
 DRAWN BY: JJK  
 PROJECT: APARTMENTS AT VERONA  
 PROJECT NO.: 20024-04-SITE  
 NEW JERSEY LICENSE NO. 08041356

**ESE CONSULTANTS**  
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.  
 100 Willow Brook Road • Suite 200 • Freehold, NJ 07728  
 T: 732-446-9446  
 New Jersey Certificate of Authorization No. 24GA2799900

REV.	DATE	DESCRIPTION

New Jersey One Call  
 811  
 1-800-272-1000  
 www.nj1call.org

**SITE LAYOUT AND DIMENSION PLAN**  
 FINAL MAJOR SITE PLAN  
**APARTMENTS AT VERONA**  
 BLOCK 2301, LOTS 11, 12, 14-17, PORTION OF 18, AND 19, TAX MAP #23.01  
 TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

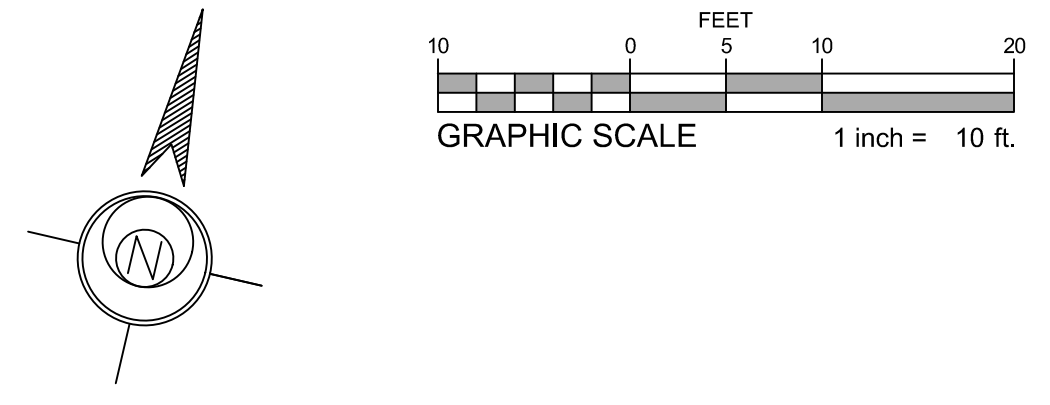
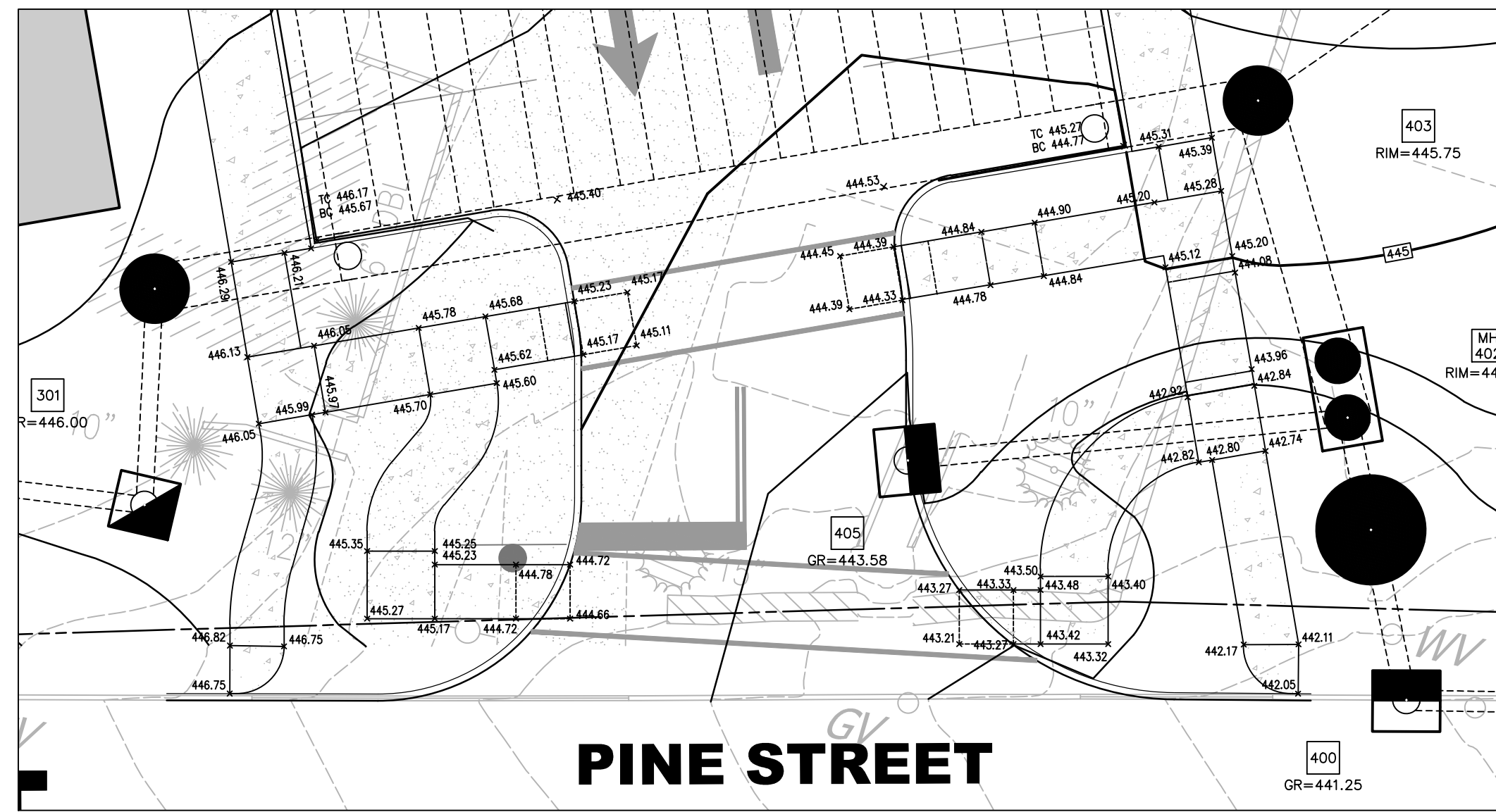
DATE: OCT. 28, 2021	SCALE: 1" = 20'
DESIGN: JJK	DRAWN: TJK
JOB NO.: 20024	FILE NAME: 20024-04-SITE
REF. NO.: SD04.01	
SHEET NO.: 4	OF 13

**GRADING PLAN NOTES**

- MATERIAL PLACED IN FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOO, ROOTS, FROZEN SOIL, STONES MORE THAN SIX (6) INCHES, AND OTHER OBJECTIONABLE MATERIAL.
- DRAIN FILL SHALL BE KEPT FROM BEING CONTAMINATED BY ADJACENT SOIL MATERIALS DURING PLACEMENT BY EITHER PLACING IT IN A CLEANLY EXCAVATED TRENCH, OR BY KEEPING THE DRAIN AT LEAST ONE FOOT ABOVE THE ADJACENT EARTH FILL.
- SELECTED DRAIN FILL AND BACKFILL MATERIAL SHALL BE PLACED AROUND STRUCTURES AND PIPE CONDUITS AT ABOUT THE SAME RATE ON ALL SIDES TO PREVENT DAMAGE FROM UNEQUAL LOADING. FILL MATERIAL SHALL BE PLACED AND SPREAD BEGINNING AT THE LOWEST POINT IN THE FOUNDATION, AND THEN BROUGHT UP IN THE CONTINUOUS HORIZONTAL LAYERS THICK ENOUGH THAT THE REQUIRED COMPACTION CAN BE OBTAINED.
- THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL SHALL DIFFER SUBSTANTIALLY IN TEXTURE OR GRADATION FROM SURROUNDING MATERIAL.
- THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE DESIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL BE WETTED AND MIXED UNTIL THE REQUIREMENT IS MET. CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER EACH LAYER OF FILL TO ENSURE THAT THE REQUIRED LEVEL OF COMPACTION IS OBTAINED.
- FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, OR DRAIN FILL SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY HAND TAMPING, OR BY USING MANUALLY DIRECTED POWER TAMPERS OR PLATE VIBRATORS. FILL ADJACENT TO CONCRETE STRUCTURES SHALL NOT BE COMPACTED UNTIL THE CONCRETE HAS HAD TIME TO GAIN ENOUGH STRENGTH TO SUPPORT THE LOAD.
- EMBANKMENT & LOT GRADES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
- PROVIDE A MINIMUM OF 2% SLOPE IN ALL SHEET FLOW LAWN AREAS.
- MINIMUM SLOPE OF 1.5% SHALL BE PROVIDED IN YARD SWALES.
- THE PROPOSED LAWN AREAS WILL BE GRADED WITH LIGHT-WEIGHT CONSTRUCTION EQUIPMENT.
- ANY UNSUITABLE MATERIAL ENCOUNTERED (UNCONTROLLED FILL, ETC.) TO BE COMPLETELY REMOVED FROM WITHIN AND UP TO FIVE (5) FEET BEYOND THE LIMIT OF THE BUILDING FOOTPRINT AND PAVEMENT AREAS AS DIRECTED BY THE GEOTECHNICAL ENGINEER AS IDENTIFIED IN THE GEOTECHNICAL REPORT. PIRHL CONTRACTORS IS NOT RESPONSIBLE FOR UNFORESEEN SOIL ISSUES THAT ARE NOT IDENTIFIED BY PRIOR TESTING.
- DC = FLUSH CURB TO BE PROVIDED AT ALL ADA ACCESSIBLE RAMP LOCATIONS.

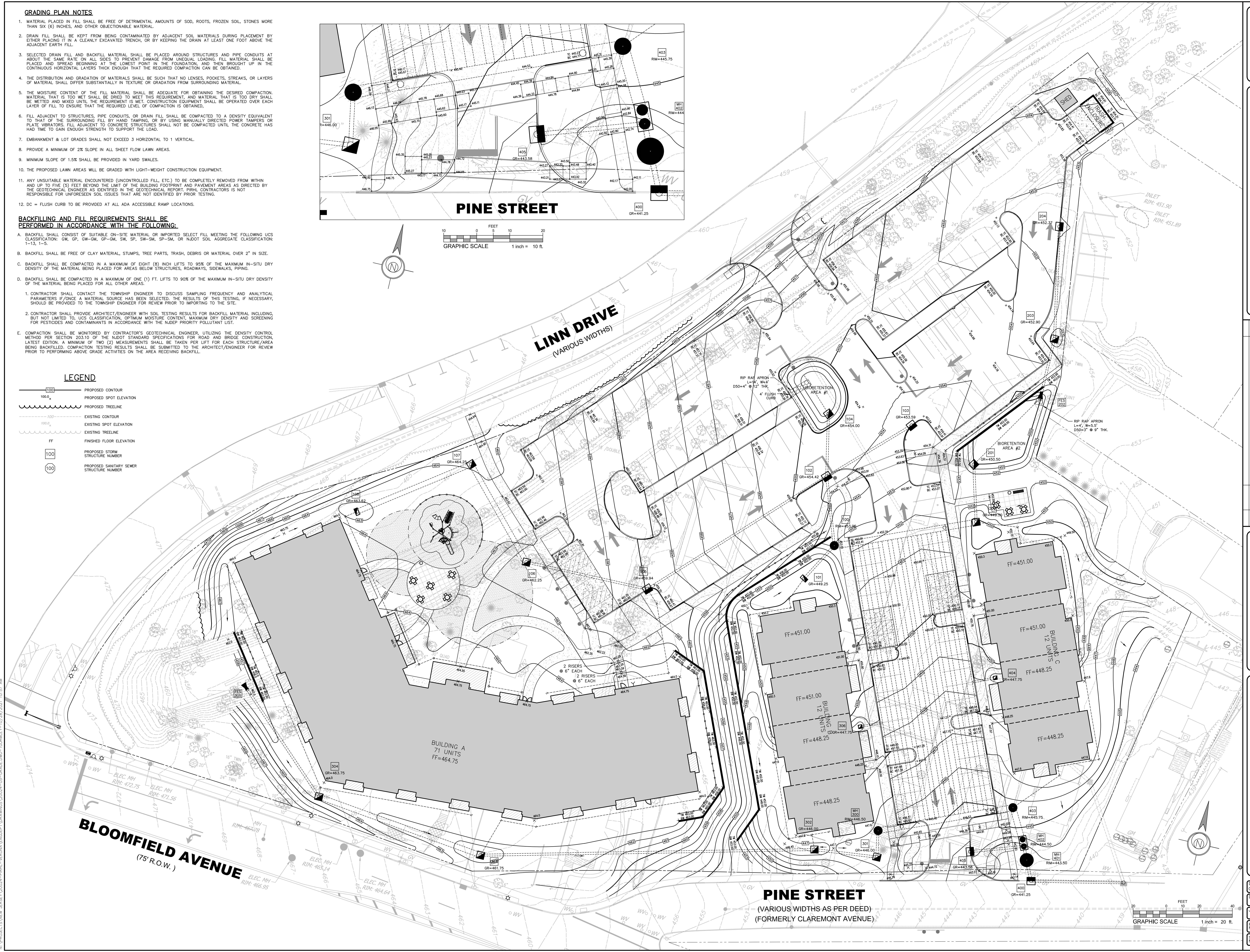
**BACKFILLING AND FILL REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING:**

- BACKFILL SHALL CONSIST OF SUITABLE ON-SITE MATERIAL OR IMPORTED SELECT FILL MEETING THE FOLLOWING UCS CLASSIFICATION: GW, GP, GW-GM, GP-GM, SW, SP, SW-SM, SP-SM, OR NJDOT SOIL AGGREGATE CLASSIFICATION: 1-13, 1-5.
  - BACKFILL SHALL BE FREE OF CLAY MATERIAL, STUMPS, TREE PARTS, TRASH, DEBRIS OR MATERIAL OVER 2" IN SIZE.
  - BACKFILL SHALL BE COMPACTED IN A MAXIMUM OF EIGHT (8) INCH LIFTS TO 95% OF THE MAXIMUM IN-SITU DRY DENSITY OF THE MATERIAL BEING PLACED FOR AREAS BELOW STRUCTURES, ROADWAYS, SIDEWALKS, PIPING.
  - BACKFILL SHALL BE COMPACTED IN A MAXIMUM OF ONE (1) FT. LIFTS TO 90% OF THE MAXIMUM IN-SITU DRY DENSITY OF THE MATERIAL BEING PLACED FOR ALL OTHER AREAS.
- CONTRACTOR SHALL CONTACT THE TOWNSHIP ENGINEER TO DISCUSS SAMPLING FREQUENCY AND ANALYTICAL PARAMETERS IF/ONCE A MATERIAL SOURCE HAS BEEN SELECTED. THE RESULTS OF THIS TESTING, IF NECESSARY, SHOULD BE PROVIDED TO THE TOWNSHIP ENGINEER FOR REVIEW PRIOR TO IMPORTING TO THE SITE.
  - CONTRACTOR SHALL PROVIDE ARCHITECT/ENGINEER WITH SOIL TESTING RESULTS FOR BACKFILL MATERIAL INCLUDING, BUT NOT LIMITED TO, UCS CLASSIFICATION, OPTIMUM MOISTURE CONTENT, MAXIMUM DRY DENSITY AND SCREENING FOR PESTICIDES AND CONTAMINANTS IN ACCORDANCE WITH THE NJDEP PRIORITY POLLUTANT LIST.
- COMPACTION SHALL BE MONITORED BY CONTRACTOR'S GEOTECHNICAL ENGINEER, UTILIZING THE DENSITY CONTROL METHOD PER SECTION 203.10 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. A MINIMUM OF TWO (2) MEASUREMENTS SHALL BE TAKEN PER LIFT FOR EACH STRUCTURE/AREA BEING BACKFILLED. COMPACTION TESTING RESULTS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO PERFORMING ABOVE GRADE ACTIVITIES ON THE AREA RECEIVING BACKFILL.



**LEGEND**

- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED TREELINE
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING TREELINE
- FINISHED FLOOR ELEVATION
- PROPOSED STORM STRUCTURE NUMBER
- PROPOSED SANITARY SEWER STRUCTURE NUMBER



**ESE CONSULTANTS**  
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

DATE: 10/28/2021  
 DRAWN BY: JTK  
 CHECKED BY: JTK

100 Willow Brook Road • Suite 200 • Freehold, NJ 07728  
 T: 732-446-9446  
 New Jersey Certificate of Authorization No. 246A2799900

REV.	DATE	DESCRIPTION

New Jersey One Call  
 811  
 Call before you dig.  
 1-800-272-1000  
 or 8-1-1  
 www.nj1call.org

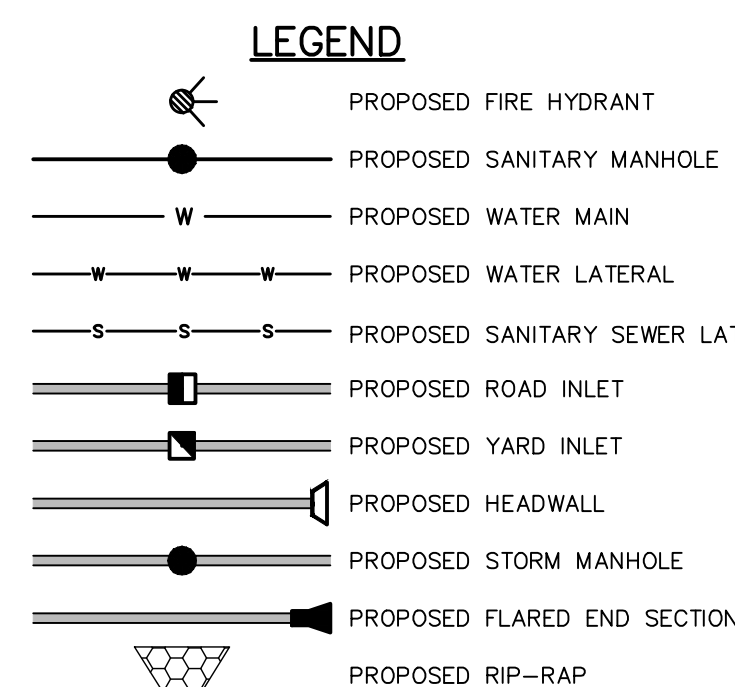
**GRADING PLAN**

FINAL MAJOR SITE PLAN  
**APARTMENTS AT VERONA**  
 BLOCK 2301, LOTS 11, 12, 14-17, PORTION OF 18, AND 19, TAX MAP #23.01  
 TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

DATE:	OCT. 28, 2021	SCALE:	1" = 20'
DESIGN:	JSK	DRAWN:	JTK
JOB NO.:	20024	FILE NAME:	20024-05-GRADE
REF. NO.:	<b>SD05.01</b>	SHEET NO.:	<b>5</b> OF <b>13</b>

**UTILITY NOTES**

- GAS, ELECTRIC, TELEPHONE, CABLE TV AND STREET LIGHTING SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH REGULATION OF LOCAL UTILITY COMPANY & THE TOWNSHIP OF VERONA AND WILL BE WITHIN AN EASEMENT OR DEDICATED PUBLIC RIGHT OF WAY.
- SEPARATE UTILITY PERMIT APPLICATIONS WILL BE REQUIRED FOR ANY PROPOSED UTILITY WORK (GAS, ELECTRIC, WATER, SEWER, ETC.) IN NJDOT R.O.W.
- POTABLE WATER SERVICE & SANITARY SEWER SERVICE ON SITE TO BE PRIVATE.
- ALL MATERIALS, METHODS AND DETAILS OF CONSTRUCTION FOR SANITARY SEWER SHALL CONFORM TO THE REGULATIONS OF THE TOWNSHIP OF VERONA, ESSEX COUNTY UTILITIES AUTHORITY, AND THE STATE OF NEW JERSEY.
- ALL SANITARY SEWER AND WATER MAIN INSTALLATION SHALL CONFORM TO THE TOWNSHIP OF VERONA SANITARY SEWER AND WATER MAIN CONSTRUCTION STANDARDS.
- THE CONTRACTOR(S) SHALL DETERMINE THE LOCATION OF EXISTING STRUCTURES AND UTILITIES ABOVE AND BELOW GROUND BEFORE BEGINNING CONSTRUCTION IN ORDER TO AVOID INTERFERENCE WITH SAME.
- ALL ON SITE WATER MAINS TO BE 6" OR 8" CEMENT UNED DUCTILE IRON PIPE CONFORMING TO A.N.S.I. A 21.51 (AWWA C151), CLASS 52, WITH EITHER MECHANICAL OR PUSH-UP JOINTS.
- ALL ON SITE SANITARY SEWER GRAVITY MAINS SHALL BE 8" POLYVINYL CHLORIDE PIPE TYPE PSM, SDR-35, CONFORMING TO ASTM D3034 WITH PUSH-UP JOINTS (UNLESS OTHERWISE SPECIFIED ON THE PLANS).
- PROVIDE TEN (10) FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN SANITARY SEWER MAINS AND WATER MAINS OR LOCATE WATER MAIN EIGHTEEN (18) INCHES ABOVE SEWER MAIN IN A SEPARATE TRENCH. MINIMUM VERTICAL CLEARANCE BETWEEN WATER MAINS AND OTHER PIPES SHALL BE NO LESS THAN TWELVE (12) INCHES.
- AT SANITARY SEWER MAIN AND WATER MAIN CROSSINGS, CONSTRUCT SANITARY SEWER MAIN A MINIMUM OF EIGHTEEN (18) INCHES BELOW WATER MAIN OR ENCASE SANITARY SEWER MAIN IN CONCRETE SIX (6) INCHES THICK FOR A DISTANCE OF TEN (10) FEET ON BOTH SIDES OF WATER MAIN. DUCTILE IRON PIPE MAY BE SUBSTITUTED FOR CONCRETE ENCASEMENT.
- PROVIDE EIGHTEEN (18) INCHES OF CLEARANCE BETWEEN STORM DRAINS CROSSING SANITARY SEWER MAINS.
- PROVIDE FOUR (4) FEET MINIMUM COVER OVER WATER MAINS AND PROVIDE THREE (3) FEET MINIMUM COVER OVER SEWER LATERALS AT CURB LINE.
- FIRE HYDRANT LOCATIONS SHALL BE APPROVED BY LOCAL FIRE OFFICIAL.
- STORM WATER MANAGEMENT FOR SITE SHALL MEET LOCAL COUNTY AND STATE REQUIREMENTS.
- ALL STORM DRAIN PIPES SHALL BE REINFORCED CONCRETE, CLASS III, WALL "B" UNLESS NOTED OTHERWISE, AND CONFORM TO THE REQUIREMENTS OF ASTM C75. JOINT MATERIAL SHALL CONFORM TO ASTM C443.
- THE NEW JERSEY ONE CALL SYSTEM SHOULD BE CONTACTED A MINIMUM OF THREE (3) BUSINESS DAYS PRIOR TO ANY EXCAVATION OR SOIL DISTURBANCE ON-SITE OR WITHIN PUBLIC ROW. CALL 811 OR (800)-272-1000.
- ALL UTILITY CONNECTIONS AND RELOCATIONS ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH EACH UTILITY COMPANY OR AUTHORITY TO PROVIDE THE MOST APPROPRIATE LOCATION FOR UTILITY CONNECTIONS AND/OR RELOCATIONS.
- EXISTING SITE AND UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. CONTRACTOR SHOULD FIELD VERIFY PRIOR TO CONSTRUCTION.
- THE VERTICAL DATUM SHOWN IS BASED ON NAVD83 AS ESTABLISHED USING GPS METHODS AND THE SMARTNET NETWORK.
- BACKFLOW PREVENTION DEVICES FOR DOMESTIC AND FIRE SERVICE CONNECTIONS SHALL BE PROVIDED PER TOWNSHIP OF VERONA STANDARDS. ANY REDUCED PRESSURE ZONE ASSEMBLIES (RPZ) SHALL BE LOCATED IN AN INTERNAL UTILITY ROOM WITH FLOOR DRAIN.
- WATER VALVES 16" DIAMETER OR GREATER SHALL BE BUTTERFLY TYPE.
- ALL STORM AND SANITARY SEWER CASTINGS, MANHOLES, CATCH BASINS, FRAMES, GRATES, AND OTHER COMPONENTS SHALL BE AMERICAN MADE AND BEAR APPROVAL/CERTIFICATION FROM THE NJDOT.



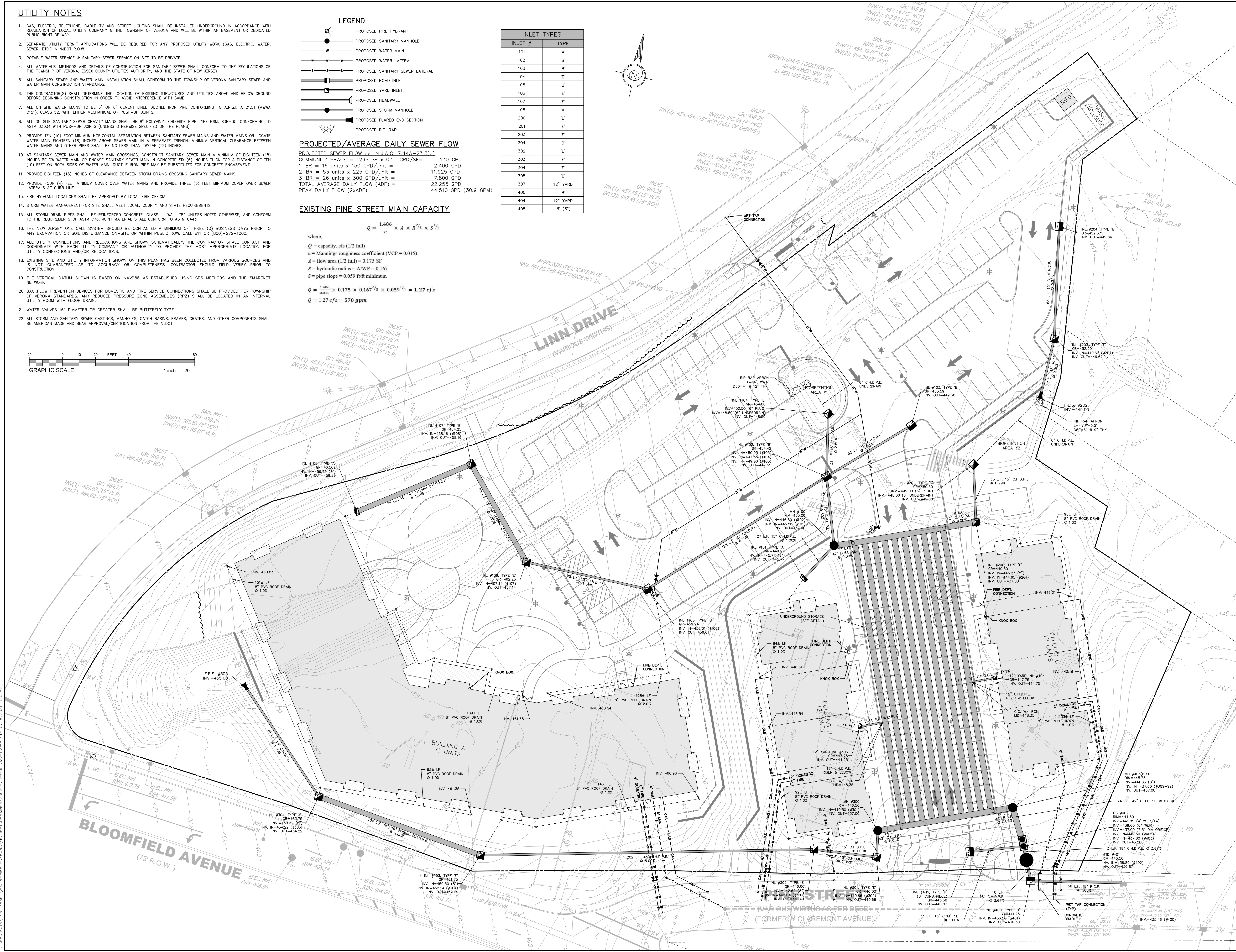
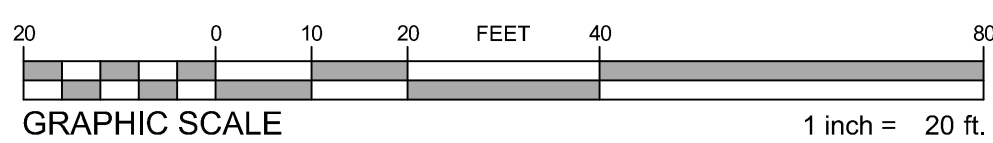
INLET TYPES	
INLET #	TYPE
101	'A'
102	'B'
103	'B'
104	'E'
105	'B'
106	'E'
107	'E'
108	'A'
200	'E'
201	'E'
203	'E'
204	'B'
302	'E'
303	'E'
304	'E'
305	'E'
307	12" YARD
400	'B'
404	12" YARD
405	'B' (8")

**PROJECTED/AVERAGE DAILY SEWER FLOW**

PROJECTED SEWER FLOW per N.J.A.C. 7:14A-23.3(a)  
 COMMUNITY SPACE = 12296 SF x 0.10 GPD/SF = 1300 GPD  
 1-BR = 16 units x 150 GPD/unit = 2,400 GPD  
 2-BR = 53 units x 225 GPD/unit = 11,925 GPD  
 3-BR = 26 units x 300 GPD/unit = 7,800 GPD  
 TOTAL AVERAGE DAILY FLOW (ADF) = 22,255 GPD  
 PEAK DAILY FLOW (2xADF) = 44,510 GPD (30.9 GPM)

**EXISTING PINE STREET MAIN CAPACITY**

where,  
 $Q = \frac{1.486}{n} \times A \times R^{2/3} \times S^{1/2}$   
 $Q$  = capacity, cfs (1/2 full)  
 $n$  = Mannings roughness coefficient (VCP = 0.015)  
 $A$  = flow area (1/2 full) = 0.175 SF  
 $R$  = hydraulic radius = A/WP = 0.167  
 $S$  = pipe slope = 0.059 ft/ft minimum  
 $Q = \frac{1.486}{0.015} \times 0.175 \times 0.167^{2/3} \times 0.059^{1/2} = 1.27 \text{ cfs}$   
 $Q = 1.27 \text{ cfs} = 570 \text{ gpm}$



**ESE CONSULTANTS**  
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.  
 100 Willow Brook Road • Suite 200 • Freehold, NJ 07728  
 T: 732-446-9446  
 New Jersey Certificate of Authorization No. 246A2799900

**UTILITY PLAN**

FINAL MAJOR SITE PLAN  
 APARTMENTS AT VERONA  
 BLOCK 2301, LOTS 11, 12, 14-17, PORTION OF 18, AND 19, TAX MAP #23.01  
 TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

DATE: OCT. 28, 2021 SCALE: 1" = 20'  
 DESIGN: JSK DRAWING: TJC  
 JOB NO.: 20024 FILE NAME: 20024-06-01  
 REF. NO.: SD06.01  
 SHEET NO.: 6 OF 13



MELILLO+BAUER  
ASSOCIATES  
Landscape Architecture  
200 Union Avenue  
Belle Mead, New Jersey 08720  
T 732.528.0664  
F 732.528.1077

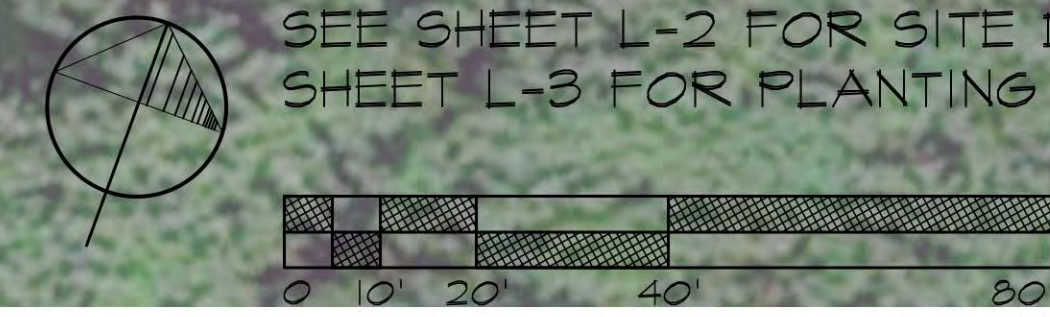
LYNN A. YAHIA  
*Lynn A. Yahia*  
N.J. LICENSED  
LANDSCAPE ARCHITECT  
#21AS0059100

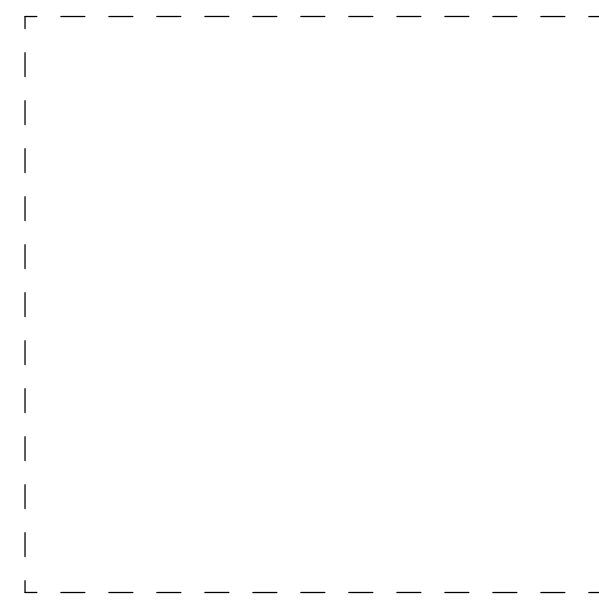
NO.	DATE	REVISION

SCALE: 1"=40'  
DATE: 10/29/2021 JOB NO.: 20-107

DRAWING NO.  
L-1

NOTE:  
SEE SHEET L-2 FOR SITE DETAILS AND  
SHEET L-3 FOR PLANTING DETAILS





WRT

# pirhl

## APARTMENTS AT VERONA

BLOCK 2301 LOTS 11-17,  
A PORTION OF LOT 18 AND LOT 19  
TOWNSHIP OF VERONA, ESSEX  
COUNTY, NEW JERSEY

OWNER/APPLICANT  
VERONA LIHTC URBAN RENEWAL LLC  
5 COMMERCE WAY, SUITE 204  
HAMILTON, NJ 08691  
609.751.9664

ARCHITECT  
WALLACE ROBERTS & TODD, LLC  
1700 MARKET STREET, SUITE 2800  
PHILADELPHIA, PA 19103  
215.732.5215  
WRTDESIGN.COM

CIVIL ENGINEER  
ESE CONSULTANTS, INC.  
100 WILLOW BROOK ROAD, SUITE 200  
FREEHOLD, NJ 07728  
732.272.0532

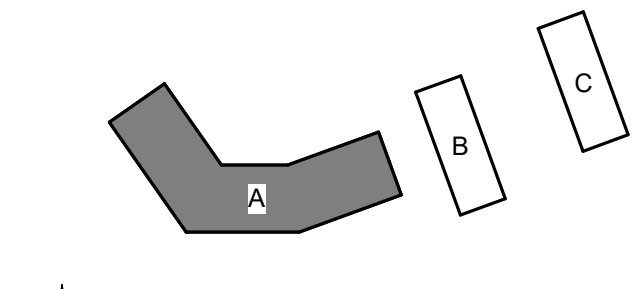
LANDSCAPE ARCHITECT  
MELILLO + BAUER ASSOCIATES, INC.  
200 UNION AVENUE  
BRELLE, NJ 08730  
732.528.0464

SUSTAINABILITY  
INNOVA BUILDING ADVISORS  
1548 S. 16TH STREET  
PHILADELPHIA, PA 19146  
215.446.9945

STRUCTURAL ENGINEER  
BAKER, INGRAM & ASSOCIATES  
2 WHITE HORSE PIKE  
HADDON HEIGHTS, NJ 08035  
856.310.1491

MEP ENGINEER  
MCHUGH ENGINEERING & ASSOCIATES  
136 POPLAR STREET  
AMBLER, PA 19002  
215.641.1158

KEYPLAN



REV #	DATE	DESCRIPTION
	09/30/21	BASIS OF DESIGN
	10/29/21	FINAL SITE PLAN SUBMISSION

SEAL

COPYRIGHT © 2020 - Wallace Roberts & Todd, LLC - ALL RIGHTS RESERVED -  
All ideas, designs, arrangements and plans indicated or represented by this drawing and written material are the property of Wallace Roberts & Todd, LLC and shall remain the property of Wallace Roberts & Todd, LLC. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Wallace Roberts & Todd, LLC.

### FINAL SITE PLAN SUBMISSION

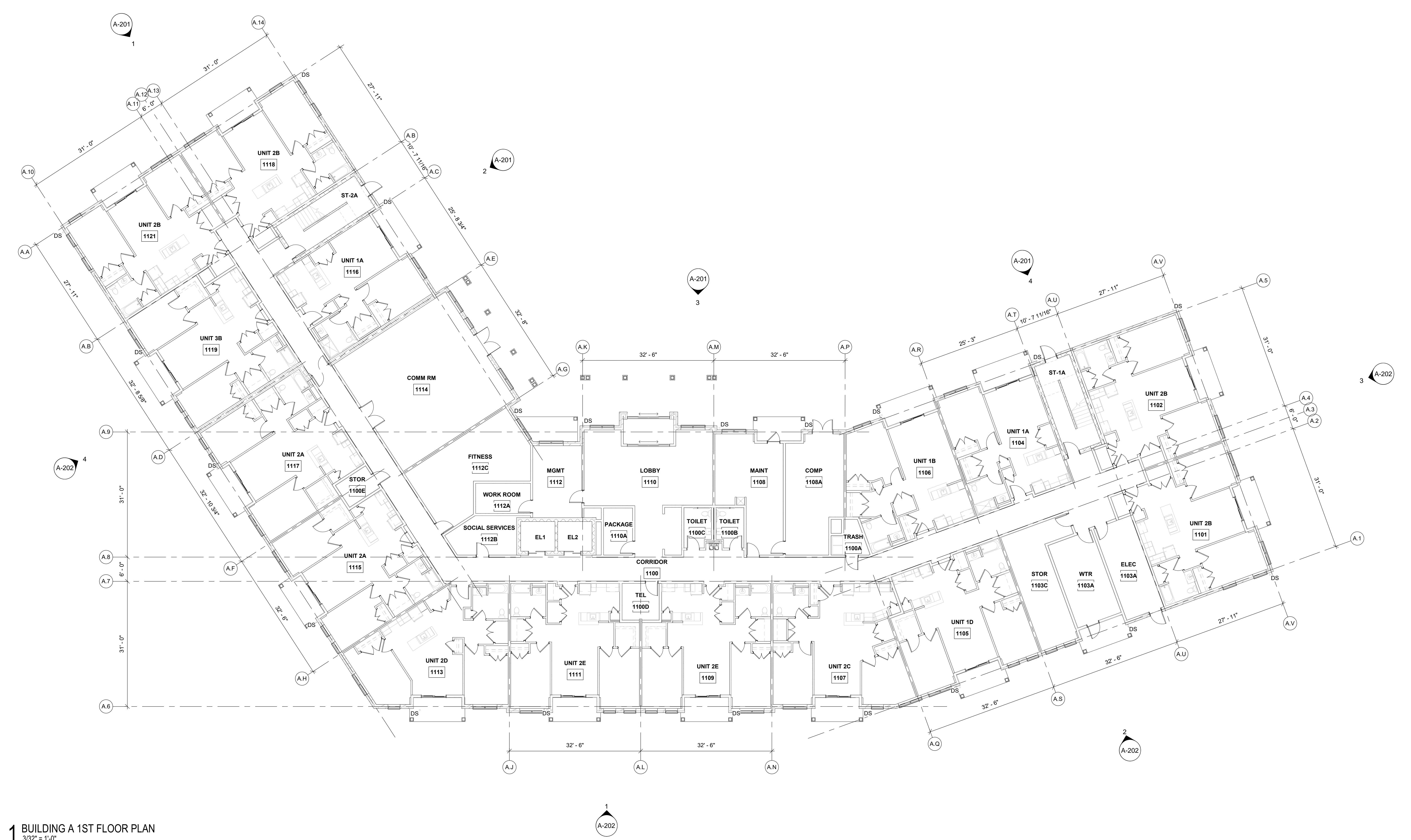
WRT PROJECT # 08423

ISSUE DATE 10/29/2021

SCALE 3/32" = 1'-0"

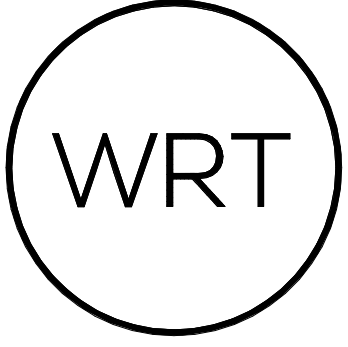
BUILDING A 1ST FLOOR PLAN

# A.101



**1 BUILDING A 1ST FLOOR PLAN**  
3/32" = 1'-0"

10/29/2021 1:58:18 PM E:\Projects\PIRHL\VERONA\_A\_01\_Plan\wrt\A.101.dwg



**pirhl**  
**APARTMENTS AT VERONA**  
 BLOCK 2301 LOTS 11-17,  
 A PORTION OF LOT 18 AND LOT 19  
 TOWNSHIP OF VERONA, ESSEX  
 COUNTY, NEW JERSEY

OWNER/APPLICANT  
**VERONA LIHTC URBAN RENEWAL LLC**  
 5 COMMERCE WAY, SUITE 204  
 HAMILTON, NJ 08691  
 609.751.9664

ARCHITECT  
**WALLACE ROBERTS & TODD, LLC**  
 1700 MARKET STREET, SUITE 2800  
 PHILADELPHIA, PA 19103  
 215.732.5215  
 WRTDESIGN.COM

CIVIL ENGINEER  
**ESE CONSULTANTS, INC.**  
 100 WILLOW BROOK ROAD, SUITE 200  
 FREEHOLD, NJ 07728  
 732.272.0532

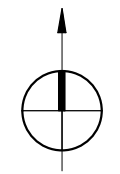
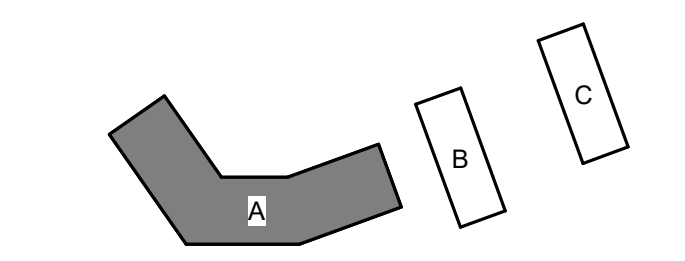
LANDSCAPE ARCHITECT  
**MELILLO + BAUER ASSOCIATES, INC.**  
 200 UNION AVENUE  
 BRIELLE, NJ 08730  
 732.528.0664

SUSTAINABILITY  
**INNOVA BUILDING ADVISORS**  
 1548 S. 16TH STREET  
 PHILADELPHIA, PA 19146  
 215.446.9945

STRUCTURAL ENGINEER  
**BAKER, INGRAM & ASSOCIATES**  
 2 WHITE HORSE PIKE  
 HADDON HEIGHTS, NJ 08035  
 856.310.1491

MEP ENGINEER  
**MCHUGH ENGINEERING & ASSOCIATES**  
 136 POPLAR STREET  
 ANSBLER, PA 19002  
 215.641.1158

KEYPLAN



REV #	DATE	DESCRIPTION
	09/30/21	BASIS OF DESIGN
	10/29/21	FINAL SITE PLAN SUBMISSION

SEAL

COPYRIGHT © 2021 - Wallace Roberts & Todd, LLC - ALL RIGHTS RESERVED -  
 All basic designs, arrangements and plans indicated or represented by this drawing  
 and written material appearing herein constitute the original and unpublished work of  
 Wallace Roberts & Todd, LLC and the same may not be duplicated, used or disclosed  
 to any person, firm or corporation for any purpose whatsoever without the written  
 consent of the architect.

**FINAL SITE PLAN SUBMISSION**

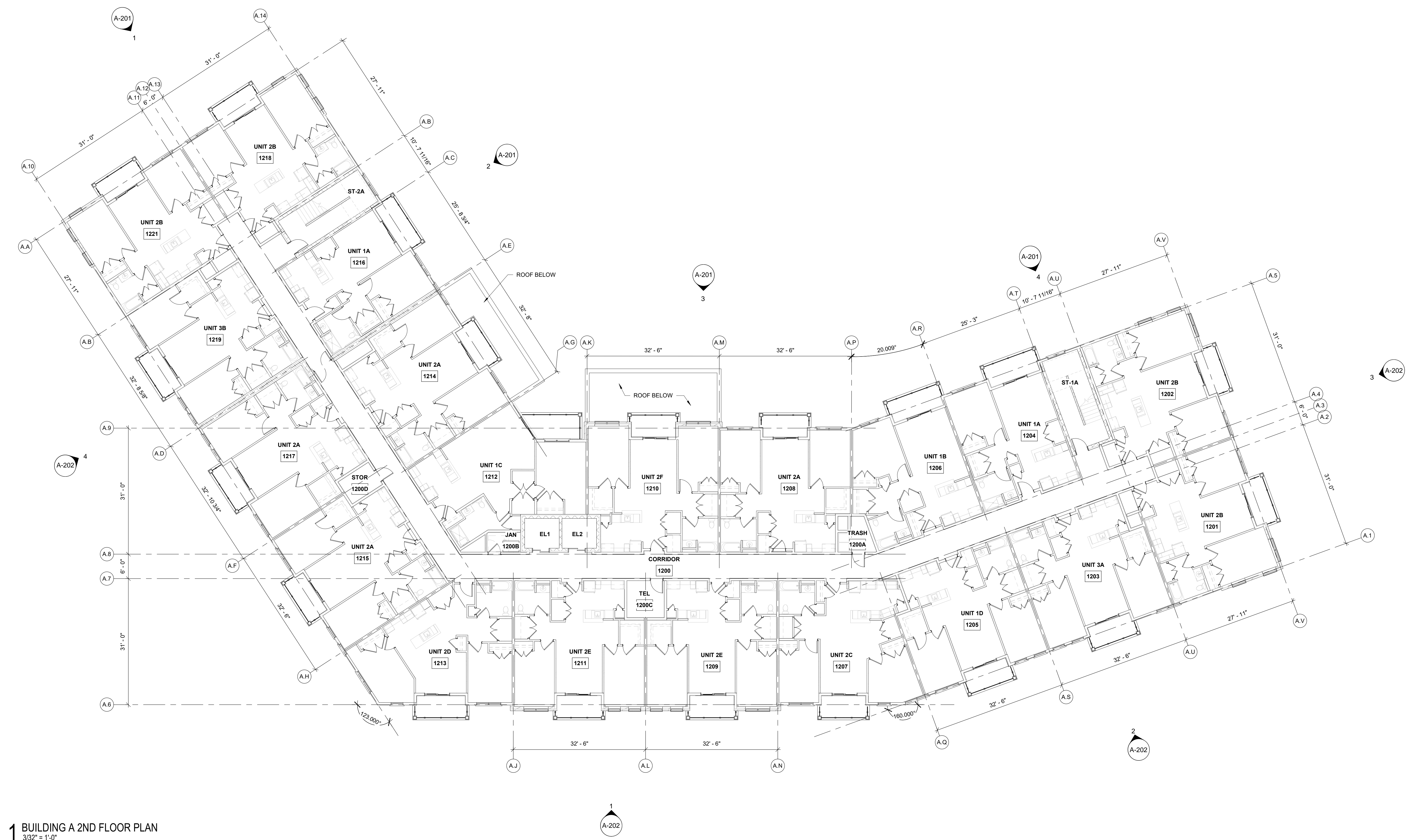
WRT PROJECT # 08423

ISSUE DATE 10/29/2021

SCALE 3/32" = 1'-0"

BUILDING A 2ND FLOOR  
 PLAN

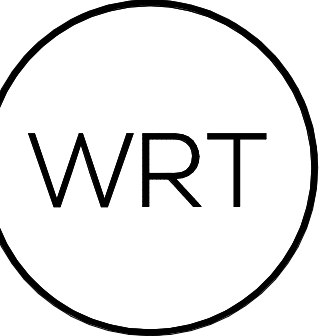
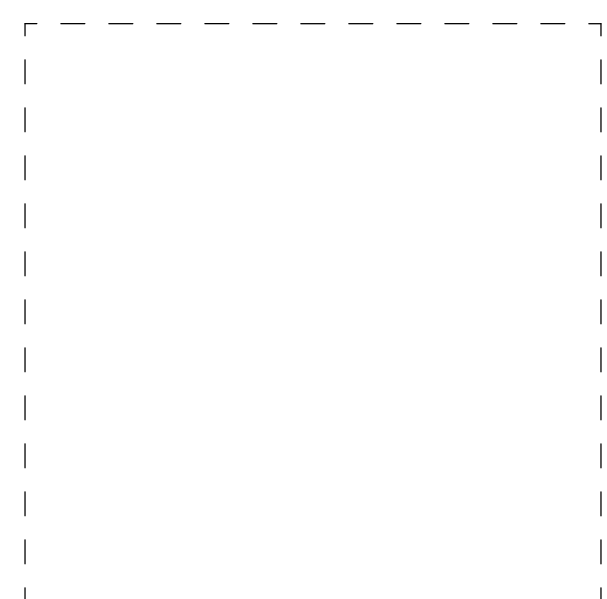
**A.102**



**1 BUILDING A 2ND FLOOR PLAN**  
 3/32" = 1'-0"

E:\Projects\PIRHL\_VERONA\_A\_01\_102\WRT\A.102.dwg





**pirhl**  
**APARTMENTS AT VERONA**  
 BLOCK 2301 LOTS 11-17,  
 A PORTION OF LOT 18 AND LOT 19  
 TOWNSHIP OF VERONA, ESSEX  
 COUNTY, NEW JERSEY

OWNER/APPLICANT  
 VERONA LIHTC URBAN RENEWAL LLC  
 5 COMMERCE WAY, SUITE 204  
 HAMILTON, NJ 08691  
 609.751.9664

ARCHITECT  
 WALLACE ROBERTS & TODD, LLC  
 1700 MARKET STREET, SUITE 2800  
 PHILADELPHIA, PA 19103  
 215.732.5215  
 WRTDESIGN.COM

CIVIL ENGINEER  
 ESE CONSULTANTS, INC.  
 100 WILLOW BROOK ROAD, SUITE 200  
 FREEHOLD, NJ 07728  
 732.272.0532

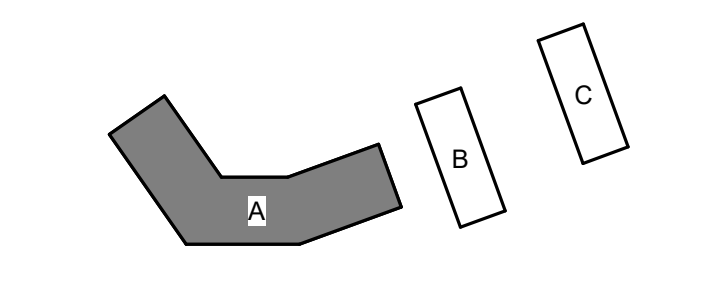
LANDSCAPE ARCHITECT  
 MELILLO + BAUER ASSOCIATES, INC.  
 200 UNION AVENUE  
 BRIELLE, NJ 08730  
 732.528.0664

SUSTAINABILITY  
 INNOVA BUILDING ADVISORS  
 1548 S. 16TH STREET  
 PHILADELPHIA, PA 19146  
 215.446.9945

STRUCTURAL ENGINEER  
 BAKER, INGRAM & ASSOCIATES  
 2 WHITE HORSE PIKE  
 HADDON HEIGHTS, NJ 08035  
 856.310.1491

MEP ENGINEER  
 MCHUGH ENGINEERING & ASSOCIATES  
 136 POPLAR STREET  
 ANSBLER, PA 19002  
 215.641.1158

KEYPLAN



REV #	DATE	DESCRIPTION
	09/30/21	BASIS OF DESIGN
	10/29/21	FINAL SITE PLAN SUBMISSION

SEAL

COPYRIGHT © 2020 - Wallace Roberts & Todd, LLC - ALL RIGHTS RESERVED -  
 All design, drawings, arrangements and plans indicated or represented by this drawing  
 and written material appearing herein constitute the original and unpublished work of  
 Wallace Roberts & Todd, LLC and the same may not be duplicated, used or disclosed  
 to any person, firm or corporation for any purpose whatsoever without the written  
 consent of the architect.

**FINAL SITE PLAN SUBMISSION**

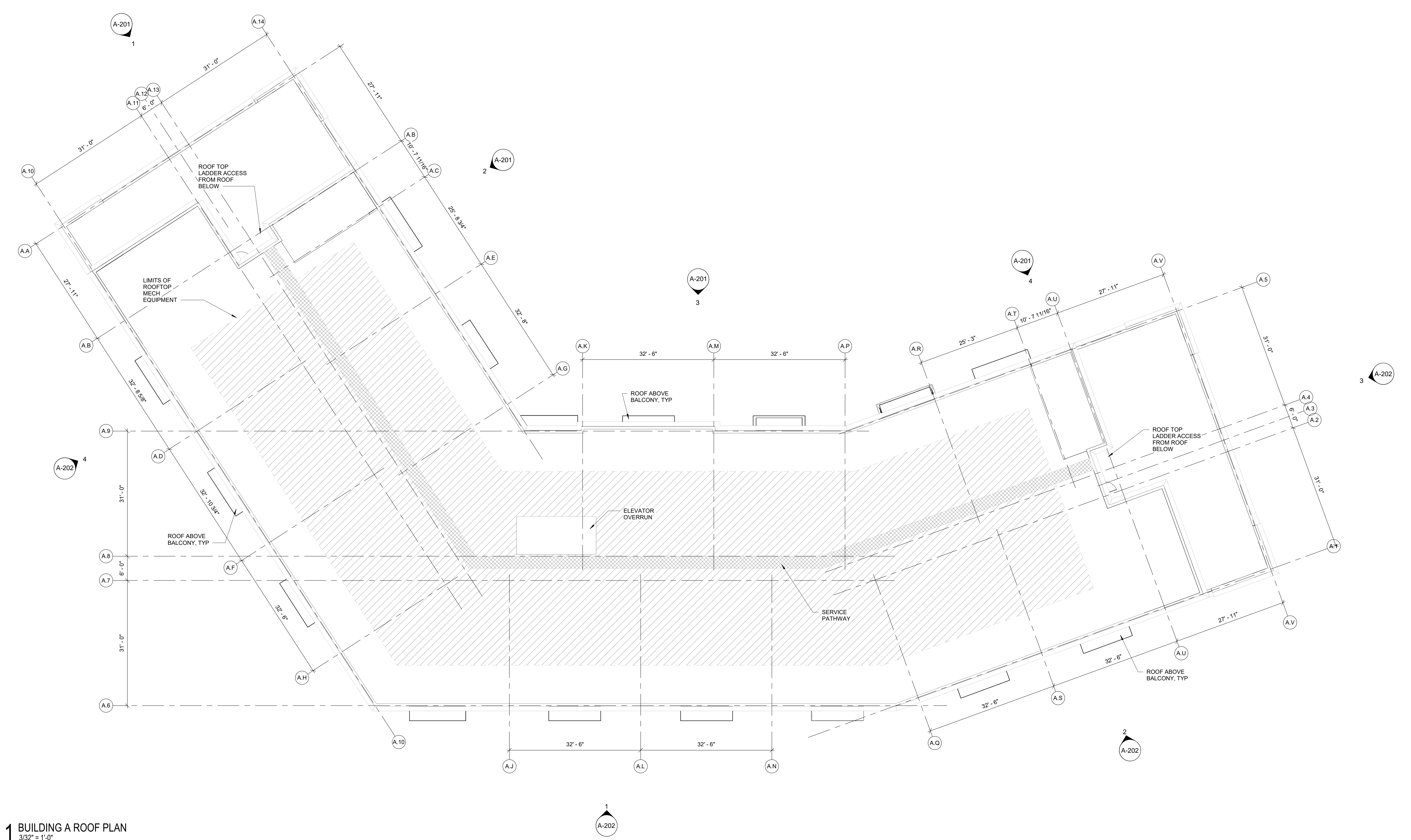
WRT PROJECT # 08423

ISSUE DATE 10/29/2021

SCALE 3/32" = 1'-0"

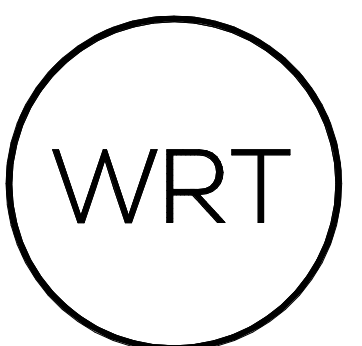
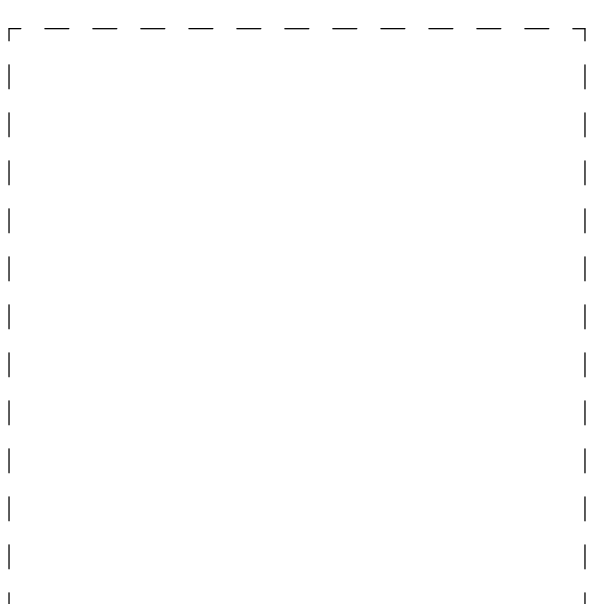
BUILDING A ROOF PLAN

**A.105**



**1 BUILDING A ROOF PLAN**  
 3/32" = 1'-0"

E:\Revit\A21\PIRHL\_VERONA\_A\_01\_105.dwg 10/29/21 10:03:21 AM



**pirhl**  
**APARTMENTS AT VERONA**

BLOCK 2301 LOTS 11-17,  
 A PORTION OF LOT 18 AND LOT 19  
 TOWNSHIP OF VERONA, ESSEX  
 COUNTY, NEW JERSEY

OWNER/APPLICANT  
**VERONA LIHTC URBAN RENEWAL LLC**

5 COMMERCE WAY, SUITE 204  
 HAMILTON, NJ 08691  
 609.751.9664

ARCHITECT  
**WALLACE ROBERTS & TODD, LLC**  
 1700 MARKET STREET, SUITE 2800  
 PHILADELPHIA, PA 19103  
 215.732.5215  
 WRTDESIGN.COM

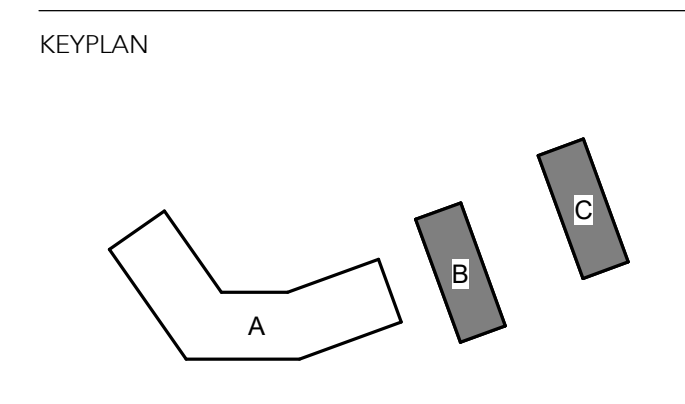
CIVIL ENGINEER  
**ESE CONSULTANTS, INC.**  
 100 WILLOW BROOK ROAD, SUITE 200  
 FREEHOLD, NJ 07728  
 732.272.0532

LANDSCAPE ARCHITECT  
**MELILLO + BAUER ASSOCIATES, INC.**  
 200 UNION AVENUE  
 BRIELLE, NJ 08730  
 732.528.0664

SUSTAINABILITY  
**INNOVA BUILDING ADVISORS**  
 1548 S. 16TH STREET  
 PHILADELPHIA, PA 19146  
 215.446.9945

STRUCTURAL ENGINEER  
**BAKER, INGRAM & ASSOCIATES**  
 2 WHITE HORSE PIKE  
 HADDON HEIGHTS, NJ 08035  
 856.310.1491

MEP ENGINEER  
**MCHUGH ENGINEERING & ASSOCIATES**  
 136 POPLAR STREET  
 AMBLER, PA 19002  
 215.641.1158



REV #	DATE	DESCRIPTION
	09/30/21	BASIS OF DESIGN
	10/29/21	FINAL SITE PLAN SUBMISSION

SEAL

COPYRIGHT © 2021 - Wallace Roberts & Todd, LLC - ALL RIGHTS RESERVED -  
 All basic designs, arrangements and plans indicated or represented by this drawing  
 and written material appearing herein constitute the original and unpublished work of  
 Wallace Roberts & Todd, LLC and the same may not be duplicated, used or disclosed  
 to any person, firm or corporation for any purpose whatsoever without the written  
 consent of the architect.

**FINAL SITE PLAN SUBMISSION**

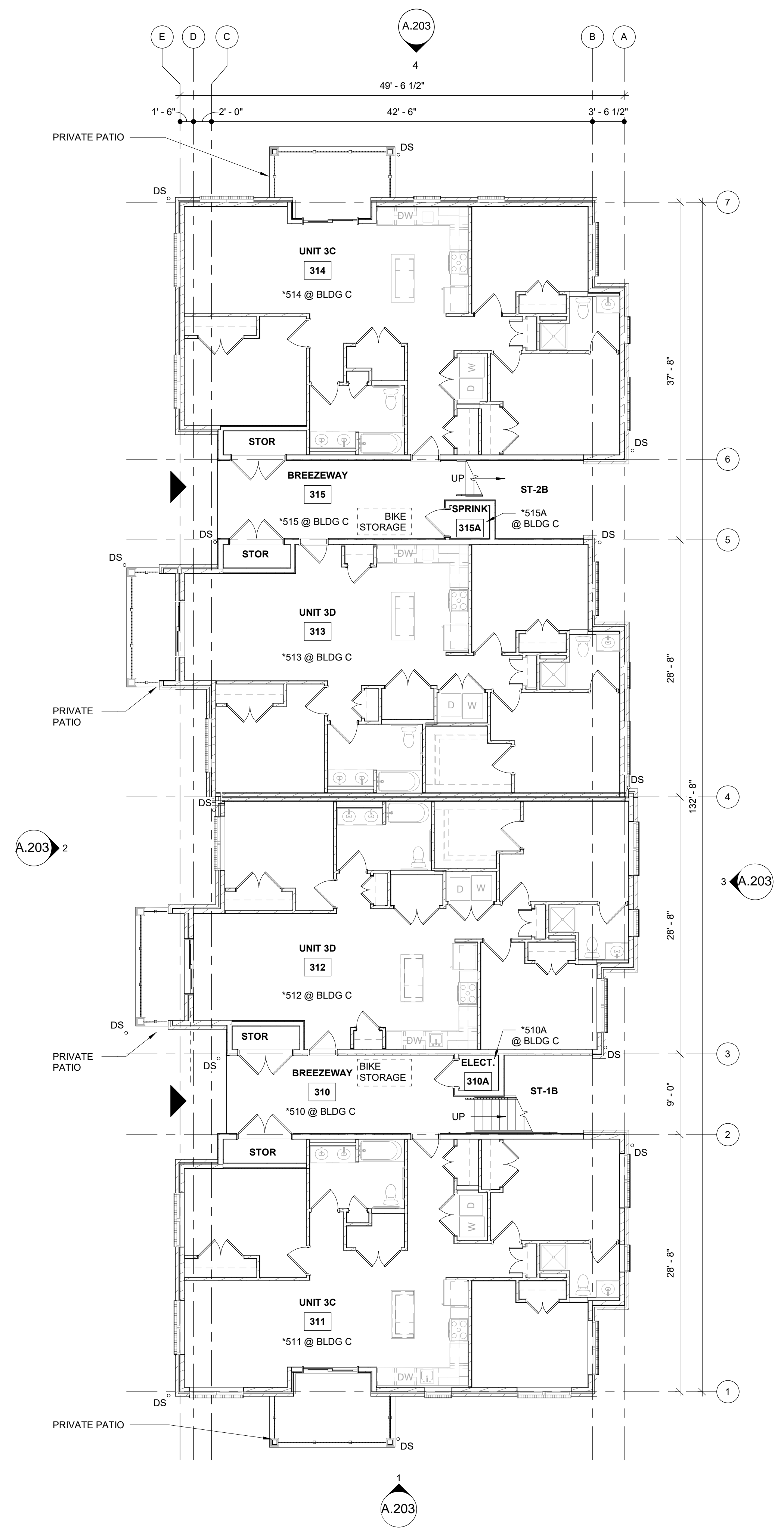
WRT PROJECT # 08423

ISSUE DATE 10/29/2021

SCALE 1/8" = 1'-0"

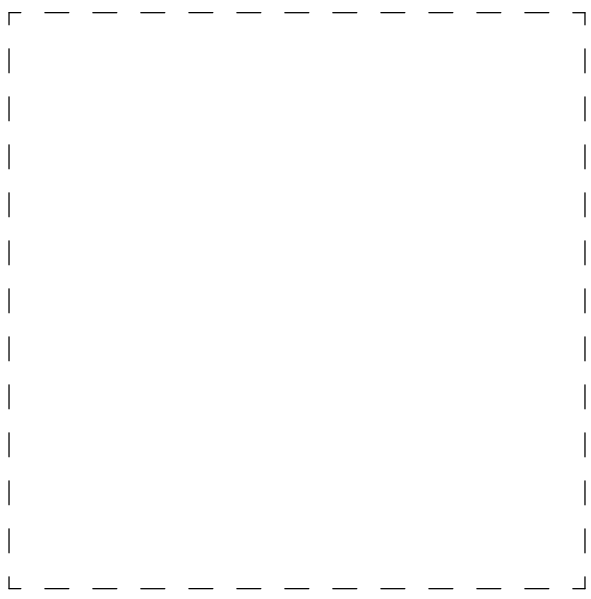
BUILDING B (BUILDING C SIM)  
 FLOOR PLANS

**A.106**



**1** BLDG B - 1ST FLOOR PLAN (BLDG C SIM)  
 1/8" = 1'-0"

E:\Rev\A21\PIRHL\_VERONA\_BLDG\_C\_01\106.dwg 10/29/21 10:13:07 AM



WRT

**pirhl**

**APARTMENTS AT VERONA**

BLOCK 2301 LOTS 11-17,  
A PORTION OF LOT 18 AND LOT 19  
TOWNSHIP OF VERONA, ESSEX  
COUNTY, NEW JERSEY

OWNER/APPLICANT

VERONA LIHTC URBAN RENEWAL LLC

5 COMMERCE WAY, SUITE 204  
HAMILTON, NJ 08691  
609.751.9664

ARCHITECT

WALLACE ROBERTS & TODD, LLC

1700 MARKET STREET, SUITE 2800  
PHILADELPHIA, PA 19103  
215.732.5215  
WRTDESIGN.COM

CIVIL ENGINEER

ESE CONSULTANTS, INC.

100 WILLOW BROOK ROAD, SUITE 200  
FREEHOLD, NJ 07728  
732.272.0532

LANDSCAPE ARCHITECT

MELILLO + BAUER ASSOCIATES, INC.

200 UNION AVENUE  
BRIELLE, NJ 08730  
732.528.0664

SUSTAINABILITY

INNOVA BUILDING ADVISORS

1548 S. 16TH STREET  
PHILADELPHIA, PA 19146  
215.446.9945

STRUCTURAL ENGINEER

BAKER, INGRAM & ASSOCIATES

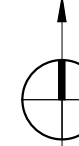
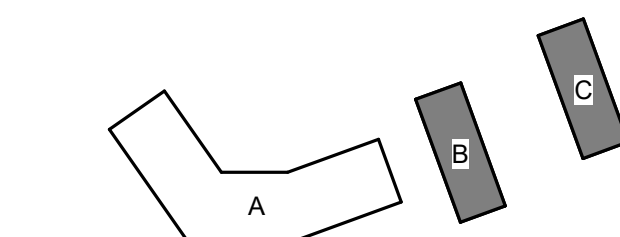
2 WHITE HORSE PIKE  
HADDON HEIGHTS, NJ 08035  
856.310.1491

MEP ENGINEER

MCHUGH ENGINEERING & ASSOCIATES

136 POPLAR STREET  
AMBLER, PA 19002  
215.641.1158

KEYPLAN



REV #	DATE	DESCRIPTION
	09/30/21	BASIS OF DESIGN
	10/29/21	FINAL SITE PLAN SUBMISSION

SEAL

COPYRIGHT © 2020 - Wallace Roberts & Todd, LLC - ALL RIGHTS RESERVED -  
All basic designs, arrangements and plans indicated or represented by this drawing  
and written material appearing herein constitute the original and unpublished work of  
Wallace Roberts & Todd, LLC and the same may not be duplicated, used or disclosed  
to any person, firm or corporation for any purpose whatsoever without the written  
consent of the architect.

**FINAL SITE PLAN SUBMISSION**

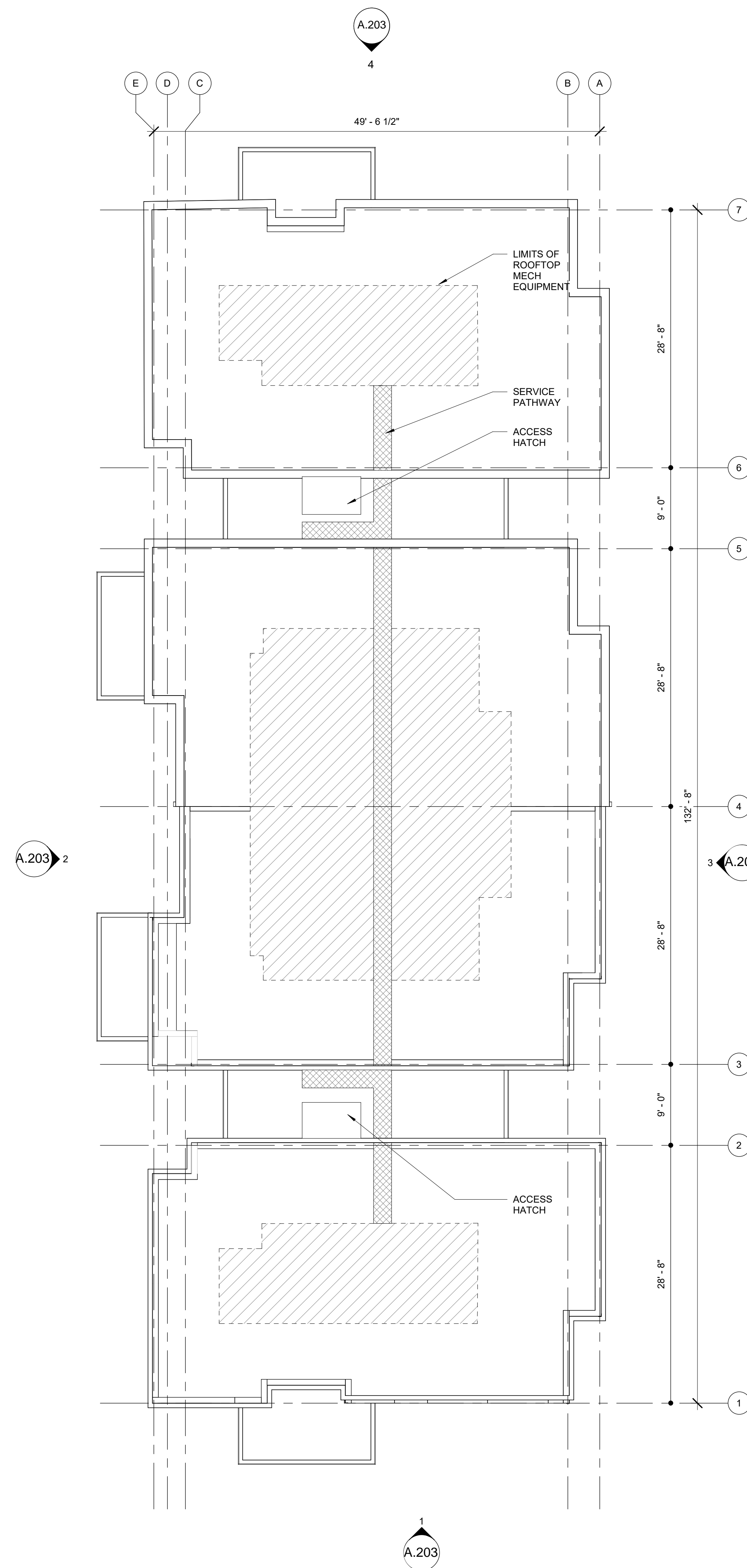
WRT PROJECT # 08423

ISSUE DATE 10/29/2021

SCALE 1/8" = 1'-0"

BUILDING B (BUILDING C SIM)  
FLOOR & ROOF PLANS

**A.107**



**1** BLDG B & C - ROOF PLAN  
1/8" = 1'-0"

E:\Revit\2021\PIRHL\_VERONA\_B-C\_21\107.dwg



**APARTMENTS AT VERONA - PERSPECTIVES | VERONA NJ**

BLOOMFIELD AVE VIEW

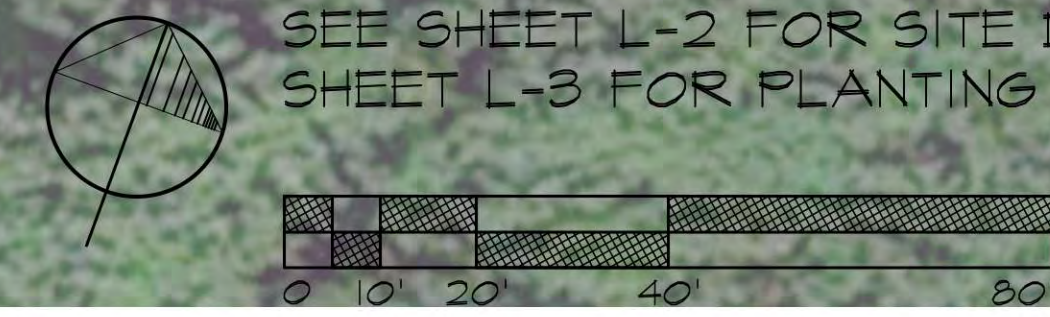


**APARTMENTS AT VERONA - PERSPECTIVES | VERONA NJ**

PARKING LOT VIEW



NOTE:  
SEE SHEET L-2 FOR SITE DETAILS AND  
SHEET L-3 FOR PLANTING DETAILS



MELILLO+BAUER  
ASSOCIATES  
Landscape Architecture  
200 Union Avenue  
Belle, New Jersey 08730  
T 732.528.0664  
F 732.528.1077

LYNN A. YAHIA  
*Lynn A. Yhia*  
N.J. LICENSED  
LANDSCAPE ARCHITECT  
#21AS0059100

NO.	DATE	REVISION

SCALE: 1"=40'  
DATE: 10/29/2021 JOB NO.: 20-107

DRAWING NO.  
L-1

# Thank You

pirhl

Lara Schwager, Sr. VP of Development 🧑

609-751-9664 📞

lschwager@pirhl.com ✉️

[www.pirhl.com](http://www.pirhl.com) 🌐

